

**NOTICE OF PUBLIC HEARING
MINOR VARIANCE**

Pursuant to Section 45(5) of *The Planning Act*

FILE NUMBER: MV-2018-25

APPLICANT: Paolo & Juliana Carvalho

PROPERTY: 66 Roth Street
Plan of Lot 103 Plan 65M-4433

ZONING: Detached Third Density Residential Zone (R3)

PURPOSE: The Owner has submitted a Minor Variance Application to allow the construction of a deck in the rear yard of the subject property.

**BY-LAW
REQUIREMENT:**

- 1) Section (24.408.3) allows patios and decks not exceeding 3.0 metres above grade to encroach a maximum of 3.5 metres into the required rear yard of 7 metres.

PROPOSAL:

- a) To permit the construction of a deck encroaching 6.4 metres into the minimum required rear yard, having a setback of 0.6 metres from the rear property line, thereby requiring a variance of 2.9 metres.

A Location Map and a Site Plan illustrating the request are attached.

This Application will be heard by the Committee of Adjustment on the Date and Time shown below.

DATE:	September 13, 2018
TIME:	7:00 p.m.
LOCATION:	COUNCIL CHAMBERS (MAIN FLOOR) AURORA TOWN HALL 100 JOHN WEST WAY AURORA, ONTARIO

You are invited to attend this Public Hearing in person to express your views about this Application or you may be represented for that purpose. If you do not attend at the hearing, it may proceed in your absence. Any person who supports or opposes this Application may speak at the hearing. Alternatively, you may forward a signed, written submission, together with reasons for support or opposition, which **must be received by the undersigned no later than 12:00pm on the day of the hearing**. If you do not attend and have not registered with Staff as an interested party, you will not be entitled to any further notice of the proceedings.

If you wish to be notified of the Decision of the Committee of Adjustment with respect to this Application, you must complete a "Request for Decision" form available at the hearing or make a written request to the undersigned prior to the hearing.

Any inquiries for this Application, please contact the undersigned, at **905-727-3123 Ext. 4223**, Monday to Friday between 8:30 am and 4:30 pm. Comments may also be mailed to the Planning and Development Services department, Aurora Town Hall, 100 John West Way, Aurora ON L4G 1J6.

Personal Information Collection Notice

Your personal information and your comments are collected under the legal authority of the *Planning Act, R.S.O. 1990*, Chapter c.P.13, as amended. Your comments in respect to this Application will become part of the decision making process of the Application as noted on this form. Pursuant to Section 27 of the *Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990*, c. M.56, as amended, (*the "Act"*) public feedback to planning proposals is considered to be a public record and may be disclosed to any individual upon request in accordance with *the Act*. Questions about this collection should be directed to the Town Clerk, Town of Aurora, 100 John West Way, Box 1000, Aurora ON L4G 6J1 905-727-3123.

DATED THIS 19TH DAY OF JULY, 2018.



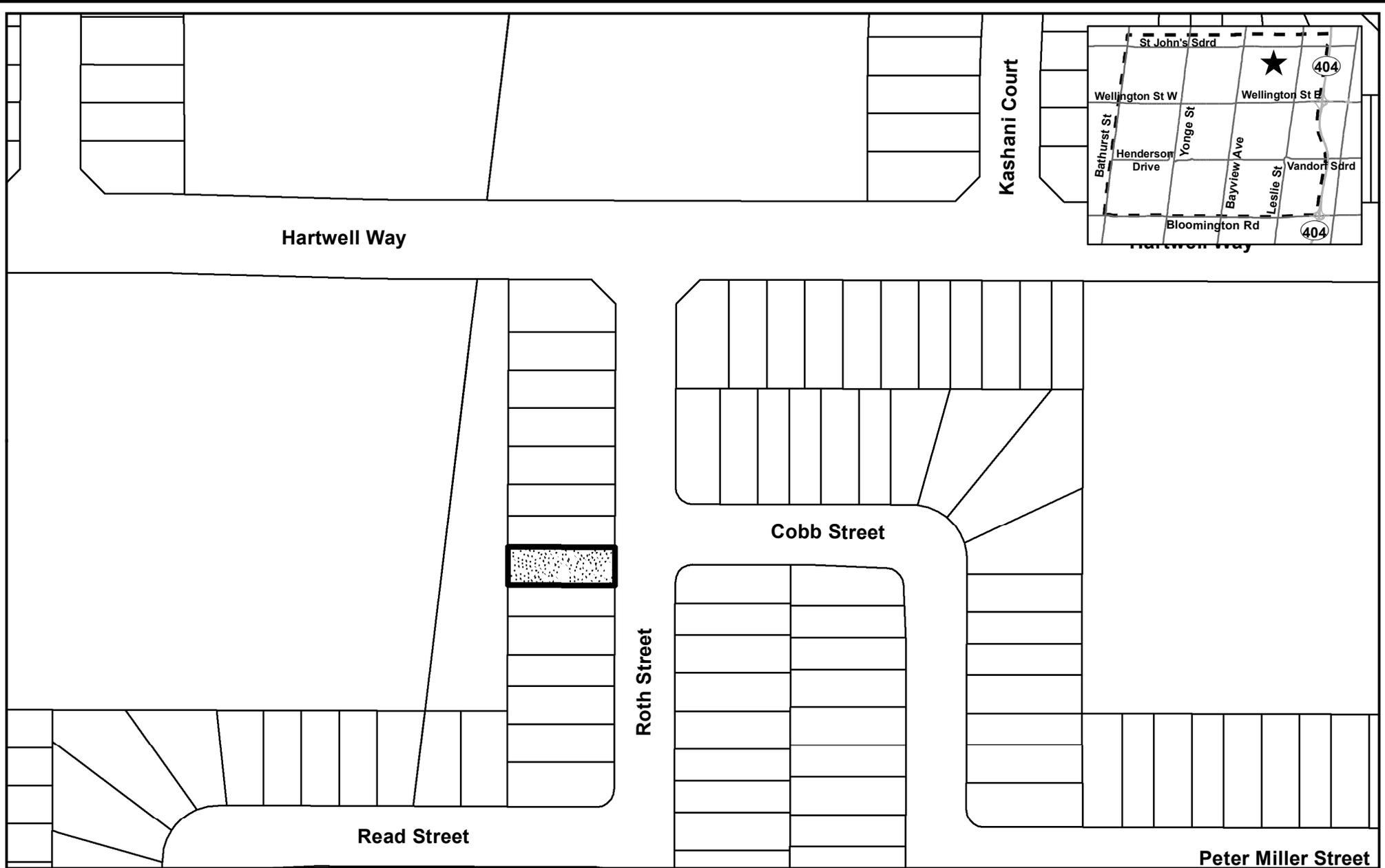
Antonio Greco
Secretary-Treasurer/Planning Technician
Committee of Adjustment

ATTACHMENTS

Attachment 1- Location Map
Attachment 2 – Site Plan

Agenda packages will be available prior to the Hearing at:

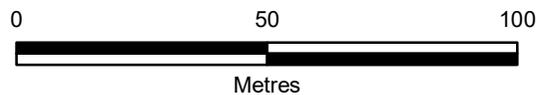
<https://www.aurora.ca/TownHall/Pages/Council%20and%20Committee%20Meetings.aspx>



KEY MAP

FILE NO: MV-2018-25
 ADDRESS: 66 ROTH STREET
 TOWN OF AURORA
 COMMITTEE OF ADJUSTMENT

 **Subject Lands**



SURVEYOR'S REAL PROPERTY REPORT
PART 1
PLAN OF LOTS 103, 104, 105,
106, 107, 108, 109, 110 AND 111
PLAN 65M-4433
TOWN OF AURORA
REGIONAL MUNICIPALITY OF YORK

SCALE 1:300
 10m 5m 0 10m 20 metres

RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S.
METRIC

DISTANCES SHOWN ON THIS PLAN ARE IN METRES AND CAN BE CONVERTED TO FEET BY DIVIDING BY 0.3048.

NOTES

- DENOTES MONUMENT FOUND
- IB DENOTES IRON BAR
- SSIB DENOTES SHORT STANDARD IRON BAR
- D.U.C. DENOTES DWELLING UNDER CONSTRUCTION
- P.I.N. DENOTES PROPERTY IDENTIFIER NUMBER
- P DENOTES PORCH

ALL FOUND MONUMENTS BY RADY-PENTEK & EDWARD SURVEYING LTD., O.L.S.

ALL TIES TO CONCRETE FOUNDATION.

BEARINGS ARE GRID AND ARE REFERRED TO THE WEST LIMIT OF ROTH STREET AS SHOWN ON PLAN 65M-4433 HAVING A BEARING OF N17°49'00"W.

ASSOCIATION OF ONTARIO LAND SURVEYORS
PLAN SUBMISSION FORM
 1945891



THIS PLAN IS NOT VALID UNLESS IT IS AN EMBOSSED ORIGINAL COPY ISSUED BY THE SURVEYOR In accordance with Regulation 1026, Section 29(3).

Preliminary Zoning Review
 PR-2018-0568
 JUL 20 2018
 Planning and Development Services Building Division

PART 2 (SURVEY REPORT)

REGISTERED EASEMENTS AND/OR RIGHT-OF-WAYS: PART OF LOTS 103, 106 & 107 DESIGNATED AS PART 5, 6 & 7, PLAN 65R-35352 ARE SUBJECT TO AN EASEMENT AS SET OUT IN YR2229397 THIS PLAN DOES NOT CERTIFY COMPLIANCE WITH ZONING BY-LAWS

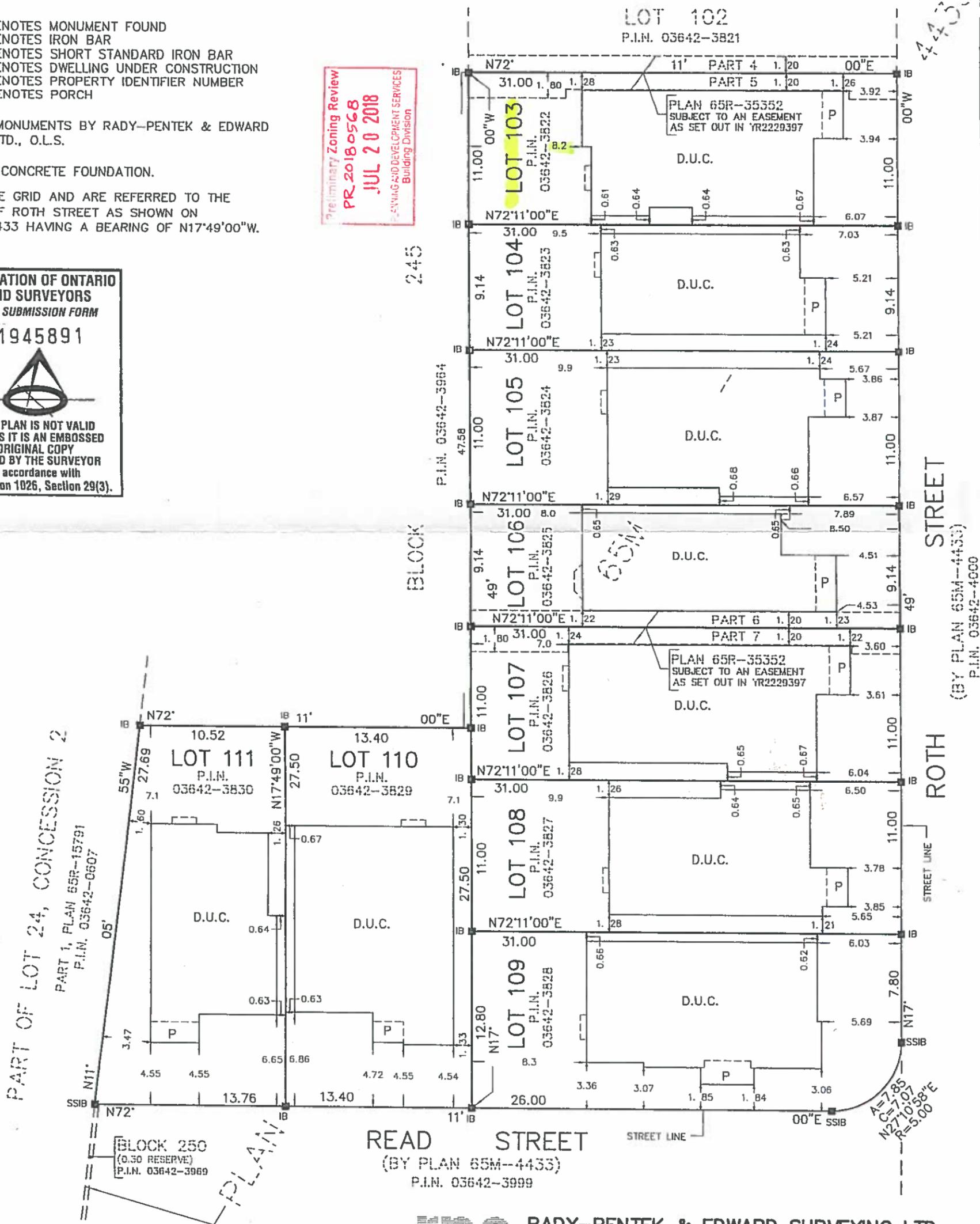
SURVEYOR'S CERTIFICATE

I CERTIFY THAT:

1. THIS SURVEY AND PLAN ARE CORRECT AND IN ACCORDANCE WITH THE SURVEYS ACT, THE SURVEYORS ACT AND THE LAND TITLES ACT AND THE REGULATIONS MADE UNDER THEM.
2. THE SURVEY WAS COMPLETED ON THE 8th DAY OF JULY, 2015.

DATE July 23, 2015.

T. Singh
 T. SINGH
 ONTARIO LAND SURVEYOR



rpe RADY-PENTEK & EDWARD SURVEYING LTD.
 ONTARIO LAND SURVEYORS
 643 Chrislea Road, Suite 7
 Woodbridge, Ontario, L4L 8A3
 Tel.(416)635-5000 Fax (416)635-5001
 Tel.(905)264-0881 Fax (905)264-2099
 Website: www.r-pe.ca
 DRAWN: V.K. CHECKED: G.Y./ T.S.
 CAD FILE No. 4433-103 JOB No. 14-132

THIS REPORT WAS PREPARED FOR COUNTRYWIDE HOMES AND THE UNDERSIGNED ACCEPTS NO RESPONSIBILITY FOR USE BY OTHER PARTIES

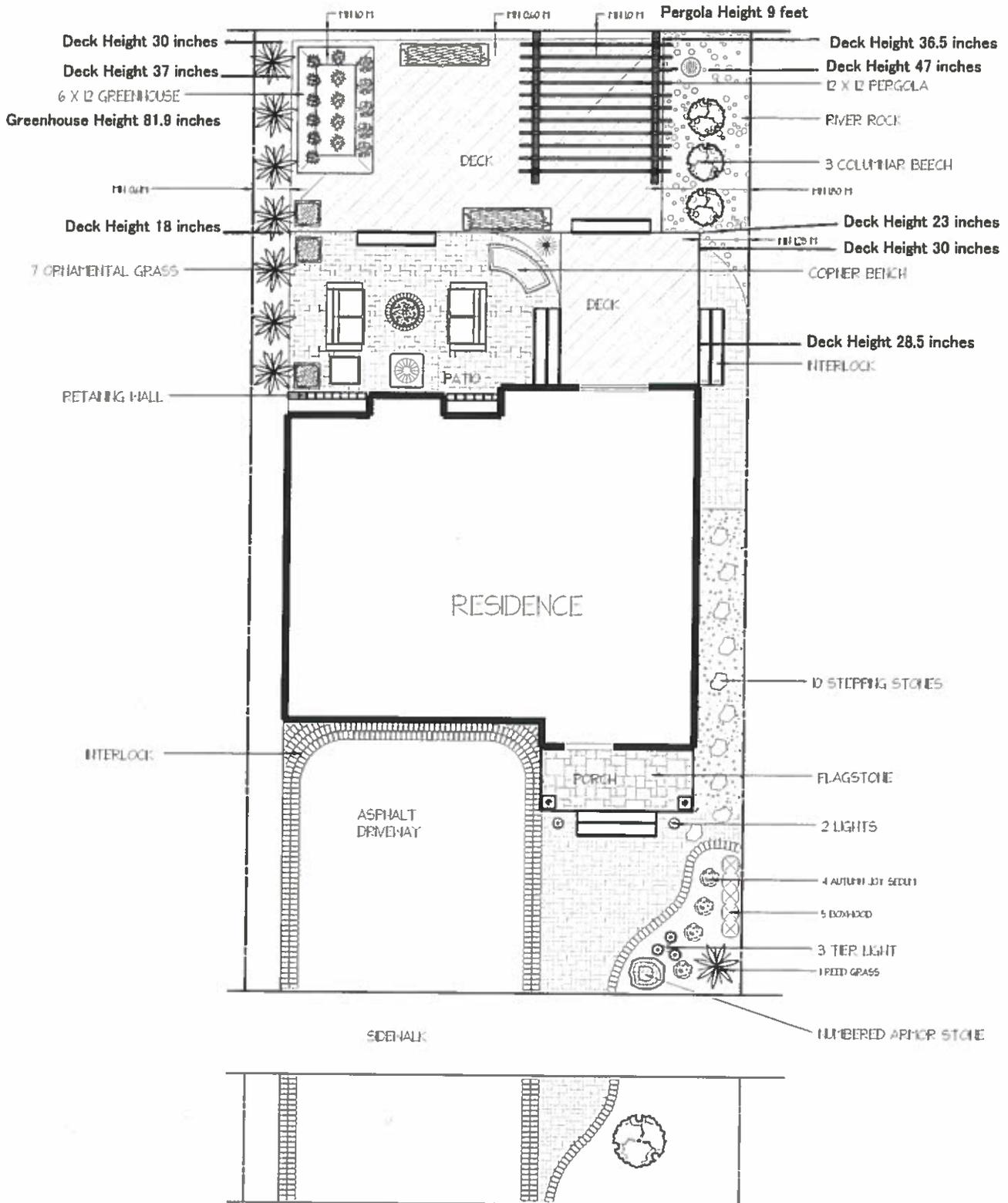




Preliminary Zoning Review
 PR 20180568
 JUL 20 2018
 PLANNING AND DEVELOPMENT SERVICES
 Building Division

JULIANA & PAULO CARVALHO 66 ROTH ST AURORA		
client scale 1"=5'	date JUNE 5, 2018	revision 1
drawn by J. PINEAU	checked by	drawing #

NEW FLOATING DECK: NOT ATTACHED TO EXISTING DECK



Preliminary Zoning Review
 PR 20180568.
 JUL 20 2018
 PLANNING AND DEVELOPMENT SERVICES
 Building Division

JULIANA & PAULO CARVALHO 66 ROTH ST AURORA		
client	date	revision
scale	JUNE 5, 2018	1
drawn by	checked by	drawing #
JPNEAU		