

**NOTICE OF PUBLIC HEARING
MINOR VARIANCE**

Pursuant to Section 45(5) of *The Planning Act*

FILE NUMBER: MV-2020-11

APPLICANT: 2181617 Ontario Inc.

PROPERTY: 130 Addison Hall Circle
Block 11, Plan 65M-4650

**RELATED
APPLICATIONS:** n/a

ZONING: E-BP(443) (*Business Park Exception Zone*)

PURPOSE: A Minor Variance Application has been submitted to allow "Warehouse" as a principal use.

**BY-LAW
REQUIREMENT:**

- 1) Section 10.1 of the Zoning By-law permits "Warehouse" as an accessory use where the principal use is "Industrial".

PROPOSAL:

- a) The applicant is proposing "Warehouse: as a principal use.

A Location Map and Site Plan illustrating the request are attached. This Application will be heard by the Committee of Adjustment on the Date and Time shown below.

DATE: June 18, 2020
TIME: 7:00 pm
LOCATION: Electronic Meeting
(Please visit <https://www.youtube.com/user/Townofaurora2012> for live stream of the meeting)

NOTE: As a result of COVID-19, Town Hall and other Town facilities have been CLOSED to the public. During this time, Committee of Adjustment meetings will be held electronically and may be viewed via live stream. Please visit the Town’s website for further details.

You may express your views about this Application, for consideration by the Committee, in the following ways:

- i) **Participate in the electronic meeting as a live delegate.** Please send a delegation request to the Secretary–Treasurer, Brashanthe Manoharan, at BManoharan@aurora.ca **no later than 4:30pm on June 16, 2020.** Once the request has been received, instructions will be provided on how to make your delegation during the electronic meeting.

The Delegation Request form is located on the Town website: <https://www.aurora.ca/en/business-and-development/resources/development-planning/Committee-of-Adjustment/Delegation-Request-Form---Fillable.pdf>

- ii) **Provide written comments.** Please email your comments to the Secretary – Treasurer, Brashanthe Manoharan, at BManoharan@aurora.ca **no later than 12:00pm (noon) on June 18, 2020.** Alternatively, comments may be mailed to Town Hall at the address below. Please note, mailed comments must be received by the Town prior to the meeting in order to be considered by the Committee.

*Town of Aurora
100 John West Way, Box 1000
Aurora, ON L4G 6J1*

If you wish to be notified of the Decision with respect to this Application, you must complete the enclosed “Request for Decision” form. The form can also be found at <https://www.aurora.ca/en/business-and-development/resources/development-planning/Committee-of-Adjustment/Request-for-Decision---Fillable.pdf>. This form is to be emailed to BManoharan@aurora.ca **no later than 4:30pm on June 19, 2020.**

If you receive this notice as an owner of land containing seven or more residential units, please post this notice in a location that is visible to all property residents.

Should you have any questions regarding this application, please contact Brashanthe Manoharan at BManoharan@aurora.ca or at **905-727-3123 Ext. 4223.**

Personal Information Collection Notice

Your personal information and your comments are collected under the legal authority of the *Planning Act, R.S.O. 1990, Chapter c.P.13, as amended.* Your comments in respect to this Application will become part of the decision making process of the Application as noted on this form. Pursuant to Section 27 of the *Municipal Freedom of Information and Protection of Privacy Act, R.S.O. 1990, c. M.56, as amended, (the “Act”)* public feedback to planning proposals is considered to be a public record and may be disclosed to any individual upon request in accordance with *the Act.* Questions about this collection should be directed to the Town Clerk, Town of Aurora, 100 John West Way, Box 1000, Aurora ON L4G 6J1 905-727-3123.

DATED THIS 2ND DAY OF JUNE 2020



Brashanthe Manoharan
Secretary-Treasurer
Committee of Adjustment

ATTACHMENTS

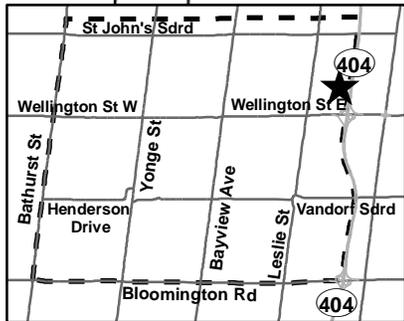
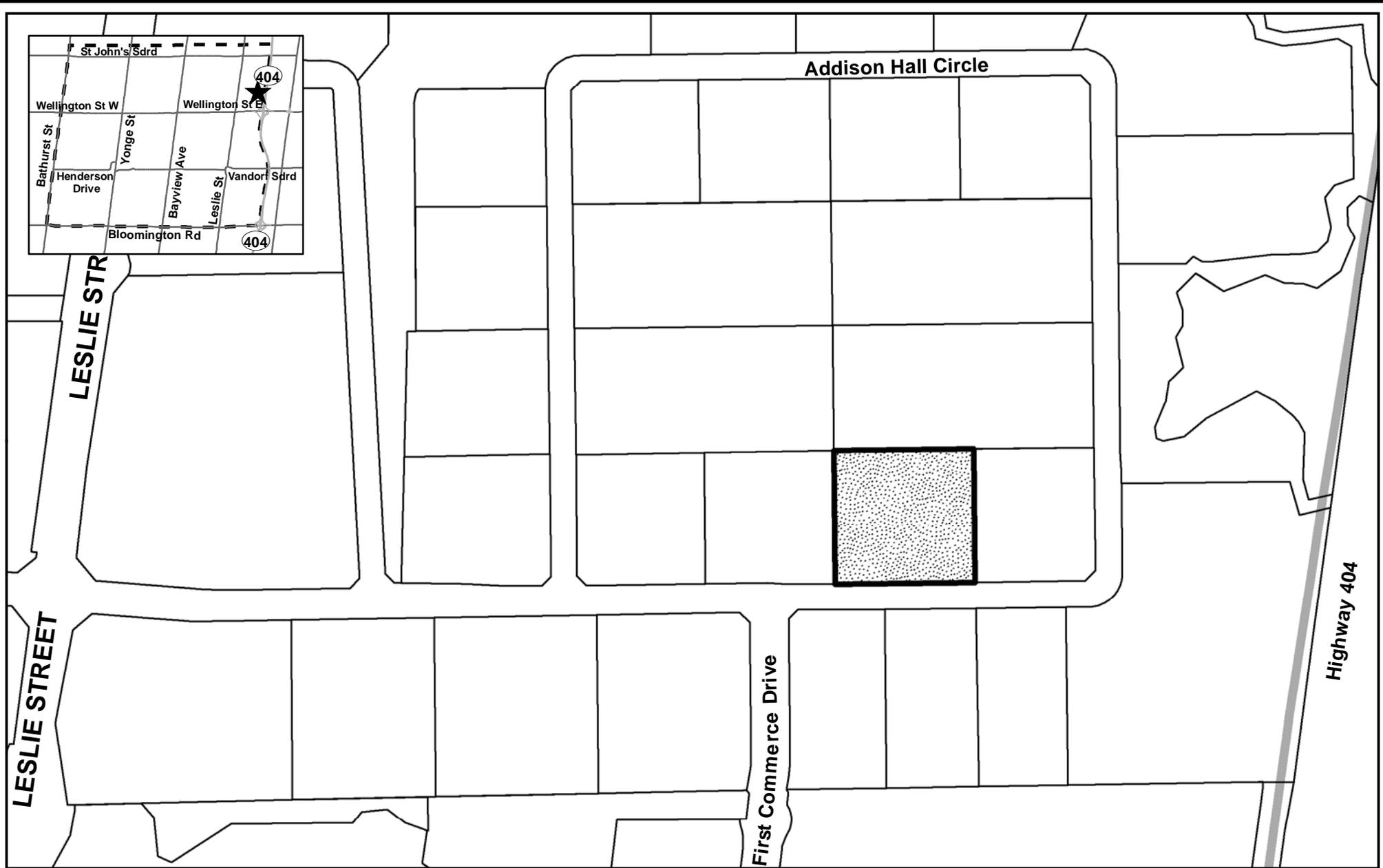
Attachment 1 – Location Map

Attachment 2 – Site Plan

Attachment 3 – Request for Decision

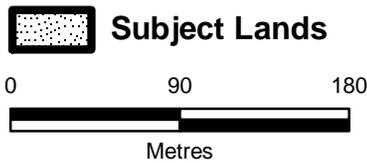
Agenda packages will be available prior to the Hearing at:

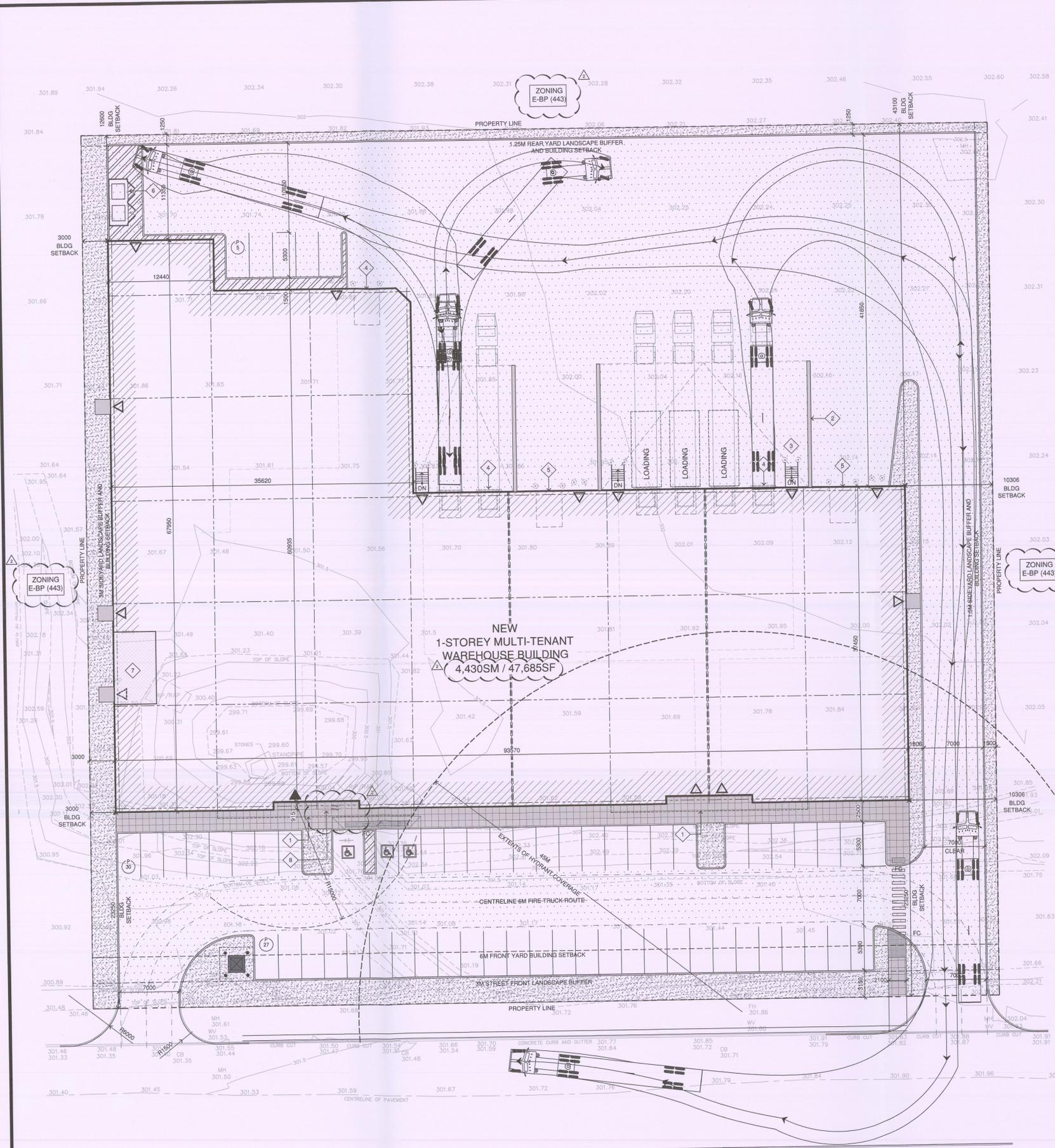
<https://www.aurora.ca/agendas>



KEY MAP

FILE NO: MV-2020-11
 ADDRESS: 130 ADDISION HALL CIRCLE
 TOWN OF AURORA
 COMMITTEE OF ADJUSTMENT





drawing legend

[Pattern]	LANDSCAPE AREA	[Symbol]	PRINCIPAL ENTRANCE
[Pattern]	HEAVY DUTY PAVING	[Symbol]	SECONDARY ACCESS / EXIT
[Pattern]	CONCRETE SIDEWALK	[Symbol]	STEEL PIPE BOLLARD (SAFETY YELLOW)
[Pattern]	FLUSH CURB WITH TACTILE INDICATOR	[Symbol]	POLE LIGHT
[Pattern]	PAINTED STRIPING	[Symbol]	WALL LIGHT
[Pattern]	RETAINING WALL	[Symbol]	FIRE HYDRANT

drawing notes

1	OUTLINE OF CANOPY ABOVE	11	XXXXX
2	POURED CONCRETE RETAINING WALL C/W 380 DIA PIPE GUARDRAIL	12	XXXXX
3	STEEL EXIT STAIRS & LANDING C/W 38 DIA PIPE GUARD / HANDRAIL	13	XXXXX
4	8W X 10H O/H DOOR C/W DOCK LEVELER	14	XXXXX
5	10W X 12H O/H DRIVE-IN DOOR	15	XXXXX
6	REFUSE STORAGE ENCLOSURE - 4 SIDES WITH NO ROOF	16	XXXXX
7	SERVICE ROOMS (MECH/ ELEC)	17	XXXXX
8	BICYCLE PARKING 4 SPACES	18	XXXXX
9	XXXXX	19	XXXXX
10	XXXXX	20	XXXXX

- general notes**
- ALL DIMENSIONS ARE IN MILLIMETERS UNLESS NOTED OTHERWISE.
 - REFER TO DRAWINGS AND REPORTS PREPARED BY:
 - SITE SERVICING AND GRADING BY: HUSSON
 - LANDSCAPING BY: BAKER TURNER INC.
 - ELECTRICAL SERVICES BY: LAPAS CONSULTING ENGINEERS LTD.
 - ALL WASTE / RECYCLING SHALL BE STORED EXTERNALLY IN WASTE COLLECTION BINS AND COLLECTED UNDER PRIVATE CONTRACT.
 - LAND OWNER SHALL ARRANGE SNOW REMOVAL UNDER PRIVATE CONTACT.
 - THERE SHALL BE NO OUTDOOR STORAGE.
 - FIRE ROUTE SHALL BE A MINIMUM OF 9.0M CLEAR WIDTH WITH A CENTERLINE TURNING RADIUS NO LESS THAN 12.0M.
 - FIRE ROUTE SHALL BE DESIGNED TO SUPPORT FIRE FIGHTING EQUIPMENT.
 - PAVEMENT SHALL BE LIGHT DUTY ASPHALT UNLESS NOTED OTHERWISE.
 - SIGNAGE & PAVEMENT MARKINGS SHALL MEET TOWN OF AURORA STANDARDS.
 - ILLUMINATION SHALL BE DIRECTED AWAY FROM ADJACENT PROPERTIES INCLUDING LANDS DESIGNATED FOR ENVIRONMENTAL PROTECTION.
 - SIGNAGE INDICATED SHALL BE USED FOR SITE PLAN PURPOSES ONLY AND IS NOT INTENDED TO INDICATE CONFORMITY WITH THE SIGN BY-LAW.
 - BUILDING PERMIT ISSUANCE SHALL BE SUBJECT TO THE BUILDING PERMIT DRAWINGS NOT BEING IN CONTRAVENTION WITH THESE APPROVED PLANS AND DRAWINGS INCLUDING, BUT NOT LIMITED TO THE EXTERIOR DESIGN OF THE BUILDING AND EXTERIOR BUILDING MATERIALS.
 - SIGNAGE SHALL BE PROVIDED TO IDENTIFY THE "PRINCIPAL ENTRANCE" FOR THE PURPOSE OF FIRE FIGHTING.

survey information

TOPOGRAPHIC SURVEY OF BLOCK 11 REGISTERED PLAN 65M-4650 TOWN OF AURORA REGIONAL MUNICIPALITY OF YORK SCHAEFFER DZALDOV BENNETT LTD. ONTARIO LAND SURVEYORS

BEARINGS ARE UTM GRID, ZONE 17, NAD83 (ORIGINAL).

□	DENOTES	PLANTED MONUMENT
■	"	FOUND MONUMENT
▣	"	SHORT STANDARD IRON BAR
▤	"	IRON BAR
P	"	REGISTERED PLAN 65M-4650
M	"	MEASURED
922	"	SCHAEFFER DZALDOV BENNETT LTD.



context plan: nts

site statistics

ZONING	EMPLOYMENT BUSINESS PARK (E-BP (443))
MASTER BY-LAW	#1600-17 (Town of Aurora Comprehensive Zoning By-law)
ENACTING BY-LAW	#2213-78
SITE AREA	2.74 acres (11,094.3 sm)

building classification

CLASSIFIED UNDER ONTARIO REGULATION 332/12 CBC 3.2.2.72, GROUP F, DIVISION 2, UP TO 2 STOREYS, SPRINKLERED
 Building Area = 4,430sm / GFA = 4,430sm
 EFFECTIVE RESTRICTIONS
 (1) A building classified as Group F, Division 2 is permitted to conform to sentence (2) provided,
 (a) except as permitted by Article 3.2.2.7, (1) the building is sprinklered,
 (b) it is not more than 2 storeys in building height, and
 (c) it has a building area not more than,
 (i) 4,500sm if 1 storey in building height or
 (ii) 1,800sm if 2 storeys in building height
 (2) The building referred to in Sentence (1) is permitted to be of combustible or noncombustible construction used singly or in combination, and
 (a) floor assemblies shall be fire separations and, if of combustible construction, shall have fire resistance rating not less than 45 min, and
 (b) loadbearing walls, columns and arches supporting an assembly required to have a fire resistance rating shall,
 (i) have a fire resistance rating not less than 45min, or
 (ii) be of non-combustible construction

building floor area

1-Storey Warehouse Building	4,430 sm	47,685 sf
Ground Floor (GFA)		
TOTAL FLOOR AREA (GFA)	4,430 sm	47,685sf.

coverage calculations

BUILDING AREA / SITE AREA	4,430sm / 11,094.3sm	39.93 %
PAVED AREA / SITE AREA	5,306.38sm / 11,094.3sm	47.83 %
LANDSCAPED AREA / SITE AREA	1,357.92sm / 11,094.3sm	12.24 %
TOTAL COVERAGE		100.00 %

parking calculations - required

STANDARD PARKING REQUIREMENTS
 Warehouse within a Multi-Unit Building in Business Park Zone
 Parking Space Dimensions = 2.7m x 5.3m

3.0 spaces per 100sm for first 100sm, plus	= 3 x 1	= 03 spaces
2.0 spaces per 100sm for next 900sm, plus	= 2 x 9	= 18 spaces
1.1 spaces per 100sm for remaining space	= 1.1 x 34.30	= 38 spaces
TOTAL STANDARD SPACES REQUIRED		= 59 spaces

BARRIER FREE PARKING REQUIREMENTS
 Parking Space Dimensions:
 Type A: 3.65m x 5.3m / Type B: 2.7m x 5.3m / 1.5m separation between Type A & B
 Minimum Barrier Free Parking Spaces Required = 4% of total number of parking spaces
 TOTAL ACCESSIBLE SPACES REQUIRED = 4% of 59 = 3 spaces

TOTAL PARKING REQUIRED = 62 spaces (including 2 barrier free)

parking calculations - provided

STANDARD PARKING SPACES
 New standard spaces to be provided (2.7m x 5.3m) = 59 spaces

ACCESSIBLE PARKING SPACES
 New accessible spaces to be provided (Type A) = 1 space
 New accessible spaces to be provided (Type B) = 2 space

TOTAL ACCESSIBLE SPACES PROVIDED = 3 spaces

TOTAL VEHICLE SPACES PROVIDED = 62 spaces

loading calculations - required

LOADING SPACE REQUIREMENTS INDUSTRIAL USE
 Loading Space Dimensions: 9m long x 3.5m wide x 4m clear height
 GFA 2,500sm to 7,500sm = 3 spaces required

TOTAL LOADING SPACES REQUIRED = 3 spaces

loading calculations - provided

LOADING SPACES PROVIDED INDUSTRIAL USE
 TOTAL LOADING SPACES PROVIDED = 6 spaces

bicycle parking

BICYCLE PARKING REQUIREMENTS
 In Business Park Zone (E-BP (443)) - per Zoning Bylaw 6000-17 Section 5.7
 2.0 spaces
 plus 0.25 spaces for each 1,000 m² of GFA

= 2.0 + 4.43(0.25)
 = 2.0 + 1.1075
 = 3.1075 spaces

BICYCLE PARKING PROVIDED = 4 SPACES

setbacks

MINIMUM SETBACKS EMPLOYMENT BUSINESS PARK (E-BP (443)) ZONE

LOT (m)	REQUIRED	PROVIDED
Frontage	30m	61.28m
Floor space index	N/A	2.4
YARD (m)	REQUIRED	PROVIDED
Front	6.0 m minimum	6.0m
Exterior Side	3.0 m minimum	3.0m
Other	3.0 m minimum	3.0m

LANDSCAPED BUFFER
 Abutting street
 None
 Abutting other Lot Lines
 3.0m
 N/A

LANDSCAPE AREA
 REQUIRED 10% minimum
 PROVIDED 14.44%



This drawing is not to be used for construction unless signed by partner in charge.
 Contractors must verify all dimensions and be responsible for same, report any discrepancies to the architect before commencing the work.
 Prints are not to be scaled.
 All drawings and related documents are the sole copyright property of the architect and must be returned upon request, any reproduction of drawings and related documents in part or in whole is forbidden without the architect's written permission.

detail number / sheet number key to details



OWNER:
 Bosda International Inc.
 50 Kinnear Court, Unit #1
 Richmond Hill, ON L4B 1K9

APPLICANT:
 Cavalleri & Associates Ltd.
 2145 Dunwin Drive | Suite 14
 Mississauga | Ontario | L5L 1X2



Re-issued for Zoning Review 09 Mar 20
 Issued for Zoning Review 02 Mar 20

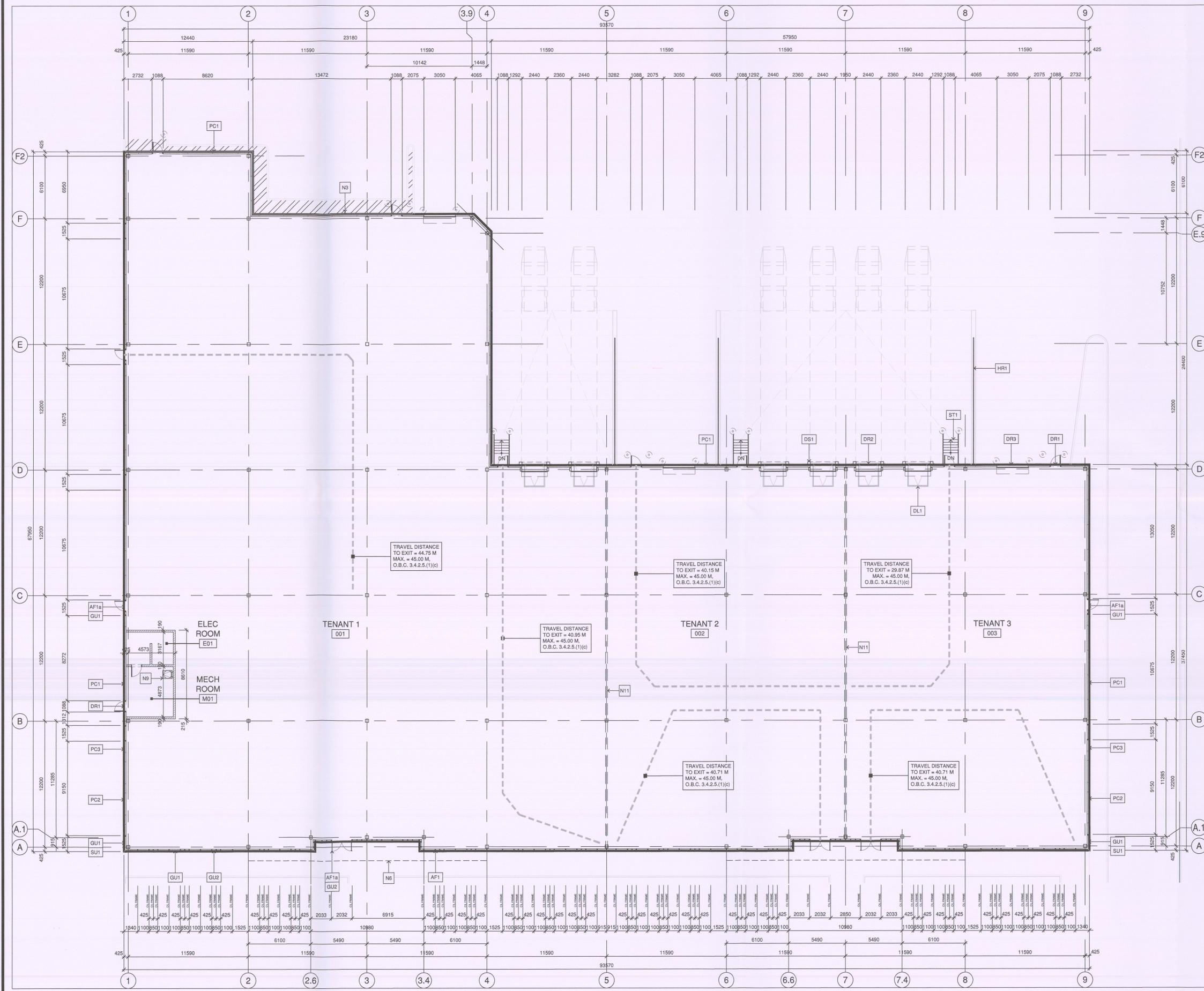
Bosda International
 1-Storey Multi-Tenant Warehouse Building
 130 Addison Hall Circle
 Aurora | Ontario

Site Plan

Project Number: 19069

Drawn By: XX
 Checked By: KM
 Date: Feb 2020
 Scale: 1:200
 Sheet Number:

1 Site Plan SCALE 1:250
 2 Sight Lines SCALE 1:750



1 Ground Floor Plan
SCALE 1:175

DRAWING NOTES

1. REFER TO SHEET A0.1 FOR O.B.C MATRIX, O.B.C NOTES, GENERAL NOTES AND O.B.C STAIR SIGNAGE SCHEDULE.
2. REFER TO SHEET A0.1 FOR SYMBOLS LEGEND AND ABBREVIATIONS.
3. REFER TO SHEET A0.2 FOR EXTERIOR MATERIALS INCLUDING ASSEMBLY, PARTITION AND CEILING TYPE SCHEDULES.
4. REFER TO SHEET A0.2 FOR FIRE RATED ASSEMBLY SCHEDULE.
5. REFER TO SHEETS A3.0 FOR EXTENT OF FIRE RATINGS AT EXTERIOR.
6. REFER SHEETS A14.0 FOR DOOR AND SCREEN SCHEDULES.

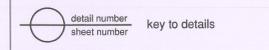
CONSTRUCTION NOTES

- N1 FIRE ANNUNCIATOR CONTROL PANEL - REFER TO ELECTRICAL
- N2 FIRE DEPARTMENT CONNECTION - REFER TO MECHANICAL
- N3 GAS METER - REFER TO MECHANICAL
- N4 GAS LINE - REFER TO MECHANICAL
- N5 FIRE HOSE CABINET - REFER TO FIRE PROTECTION
- N6 PROJECTION ABOVE
- N7 PROJECTION BELOW
- N8 WALL BELOW
- N9 ROOF ACCESS LADDER & HATCH
- N10 NON-SLIP TPO WALKING SURFACE
- N11 TENANT DEMISING WALL - CONSTRUCTION / RATING TO BE DETERMINED
- N12
- N13
- N14
- N15
- N16
- N17

Pearce McCluskey Architects
2203 Durwin Drive - Mississauga, Ontario L5L 1X2
www.pmaarchitects.ca L905.607.2444

CAVALLERI ASSOCIATES
LICENCE 5612
KEVIN RAMMOND McCLUSKEY

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BOSDA INTERNATIONAL
We bring China closer to you

OWNER:
Bosda International Inc.
30 Kinnear Court, Unit #1
Richmond Hill, ON L4B 1K8

APPLICANT:
Cavalleri & Associates Ltd.
2145 Durwin Drive | Suite 14
Mississauga | Ontario | L5L 1X2

Preliminary Zoning Review
P2A0200159
MAR 13 2020
5-Stamp
PLANNING AND ZONING SERVICES
Building Division

Issued for Zoning Review 02 Mar 20

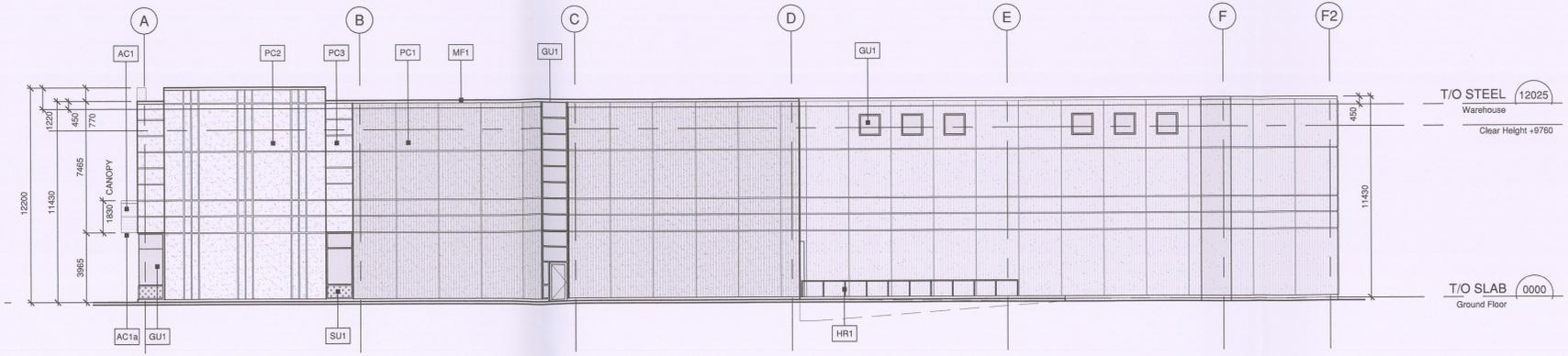
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Ground Floor Plan

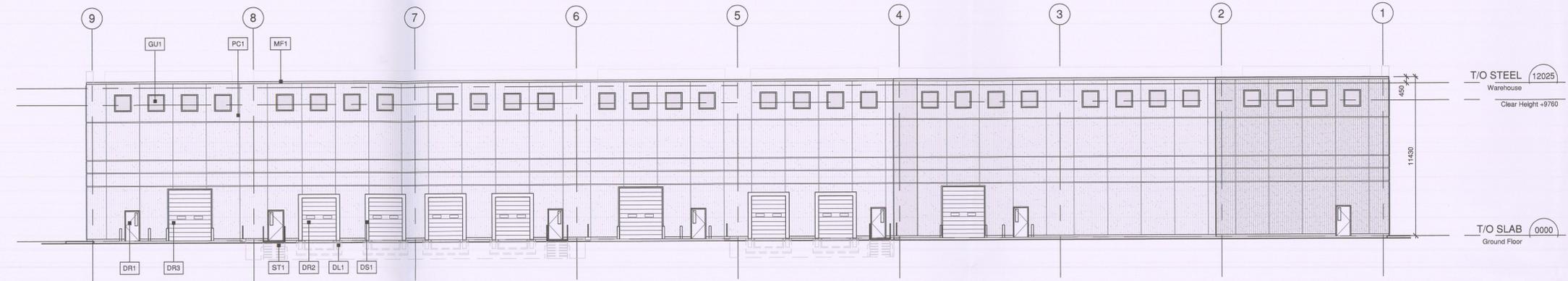
Project Number:
19069

Drawn By: KM
Checked By: KM
Date: Feb 2020
Scale: 1:175
Sheet Number:

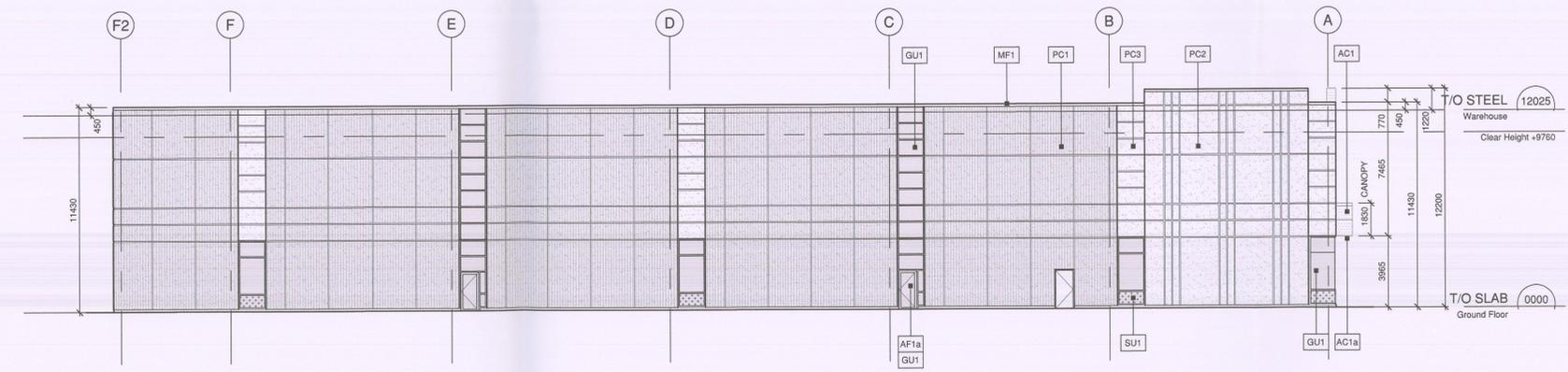
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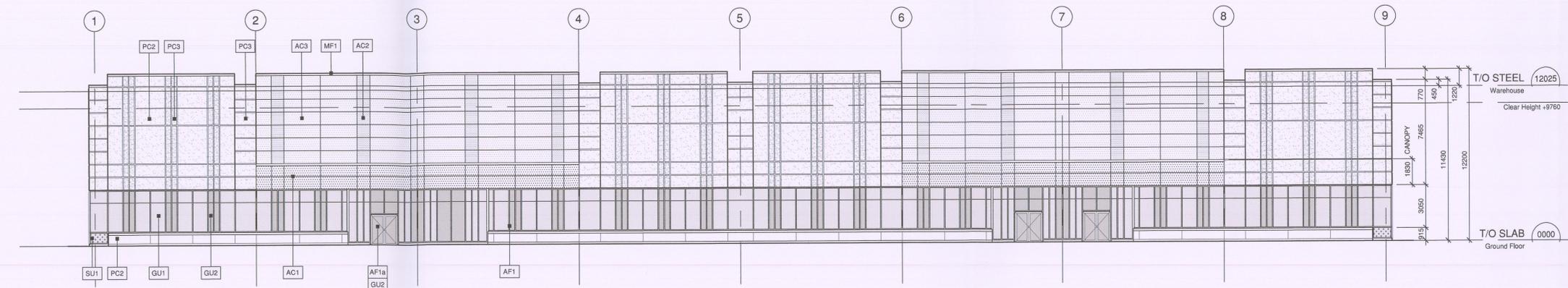
4 East Elevation
SCALE 1:175



3 North Elevation
SCALE 1:175



2 West Elevation
SCALE 1:175



1 South Elevation
SCALE 1:175

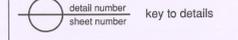
COLOUR AND FINISH SAMPLES FOR ALL EXTERIOR COMPONENTS TO BE PROVIDED FOR REVIEW AND APPROVAL BY ARCHITECT.

- DRAWING NOTES**
1. REFER TO SHEET A0.1 FOR O.B.C. MATRIX, O.B.C. NOTES, GENERAL NOTES AND O.B.C. STAIR SIGNAGE SCHEDULE.
 2. REFER TO SHEET A0.1 FOR SYMBOLS, LEGEND AND ABBREVIATIONS.
 3. REFER TO SHEET A0.2 FOR EXTERIOR MATERIALS INCLUDING ASSEMBLY AND PARTITION TYPE SCHEDULES.
 4. REFER TO SHEET A0.2 FOR FIRE RATED ASSEMBLY SCHEDULE.
 5. REFER TO SHEETS A2.0 THROUGH A2.1 FOR LAYOUT AND CONFIGURATION OF ALL EXTERIOR CLADDING COMPONENTS.
 6. COLOUR OF METAL CLOSURES, TRIMS, FLASHINGS, LOUVRES, VENTS AND LIGHTING FIXTURES SHALL MATCH ADJACENT MATERIAL UNLESS NOTED OTHERWISE.
 7. REFER TO ELECTRICAL FOR EXTERIOR WALL MOUNTED LIGHTING FIXTURES.

Pearce McCluskey Architects
2203 Dundas Drive W. Mississauga, Ontario L5L 1K2
www.pmaarchitects.ca L905.607.2444



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Issued for Zoning Review 02 Mar 20

Bosda International
1-Storey Multi-Tenant Warehouse Building
130 Addison Hall Circle
Aurora | Ontario

Elevations

Project Number: 19069

Drawn By: KJM
Checked By: KJM
Date: Feb 2020
Scale: 1:175
Sheet Number:

A3.0



TOWN OF AURORA COMMITTEE OF ADJUSTMENT REQUEST FOR DECISION

Meeting Date: _____ Agenda Item Number: _____

Application Name: _____

File Number(s): _____

IMPORTANT NOTICE

You must complete this form and submit it to the Secretary-Treasurer to ensure your name and address are accurately noted for future notification.

This meeting is your opportunity to voice any opinions or comments you may have regarding an Application for approval of a Minor Variance/Permission or Consent. Under the *Planning Act*, for a Minor Variance and Permission, Section 45(10) states that the Secretary-Treasurer shall send one copy of the decision, to each person or public body who appeared in person or by counsel at the hearing AND who filed with the Secretary-Treasurer a written request for Notice of the Decision. For Consent, Section 53(17) states that if the Committee gives or refuses to give provisional Consent, the Committee shall ensure written Notice of the Decision is given to each person or public body that made a written request to be notified of decision or conditions.

NOTE: Due to COVID-19, all Request for Decisions shall be emailed to Brashanthe Manoharan, Secretary-Treasurer, at bmanoharan@aurora.ca.

Please print clearly and provide information requested below.

Name: _____
(MR./MRS./MS) (First) (Last)

Address: _____

Municipality: _____ Postal Code: _____
(Must Be Provided)

Telephone: Residence _____ E-Mail: _____
Business _____ E-Mail: _____

Notice of Decision and/or future consideration of this Committee of Adjustment Application will be provided by E-Mail.

NOTE: Notice of this meeting was given by mail to all owners within 120 metres (400 feet) of the subject lands

Personal information on this form is collected under the legal authority of the *municipal act*, R.S.O.1990, and C.M.45, as amended. This information will be used for the purposes of sending correspondence relating to matters before council. The information is collected and maintained for the purpose of creating a record that is available to the general public pursuant to section 27 of the *municipal freedom of information and protection of privacy act*, R.S.O. 1990, C.M.56, as amended. Questions about this collection should be directed to the town clerk, town of aurora, 100 john west way, box 1000, aurora, Ontario, l4g 6j1, telephone: 905-727-3123 ext. 4771